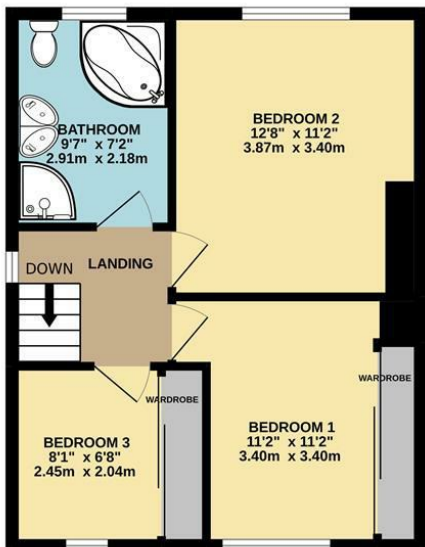


GROUND FLOOR  
533 sq.ft. (49.5 sq.m.) approx.



1ST FLOOR  
427 sq.ft. (39.7 sq.m.) approx.



TOTAL FLOOR AREA: 960 sq.ft. (89.2 sq.m.) approx.  
Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.  
Made with Metropax C3022



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**EADON  
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**EADON  
LOCKWOOD  
& RIDDLE**  
ESTD 1840

**EADON**

77, South Street, Rotherham, S62 5RE

Offers In The Region Of £140,000



77 South Street, Rawmarsh, Rotherham,  
South Yorkshire, S62 5RE

**Description**  
Offered with NO UPWARD CHAIN and of particular appeal to the first time buyers is this 3 bedroom semi detached house with rear sun lounge overlooking the back garden.  
The property enjoys two reception rooms along with a fitted kitchen with integrated fridge/freezer. The rear sun lounge is a great space which could alternatively be used for the kids playroom for all those toys!  
To the first floor are 3 bedrooms & the house bathroom. Two double bedrooms, the Principal & single bedroom with fitted wardrobes. The bathroom is fitted with a white four piece suite inc. 'His & Hers' vanity sinks, a separate shower cubicle & a jacuzzi style bath.  
Outside, is a spacious driveway providing ample off road parking together with a double garage with side access door, power & light. To the rear is a decking area & lawned garden.  
The property is situated within just a few hundred yards from the various shops amenities & bus service routes upon Kilnhurst Road along with Rosehill J&I School. The open spaces of Rosehill Victoria Park are also close by at the end of Kilnhurst Road/Warren Vale.  
Although the property may require a bit of TLC within, it offers great potential.

- A 3 bedroom semi detached house
- No upward chain
- Rear sun lounge
- Garage to rear
- Fantastic opportunity for the first time buyers
- Rear lawned garden
- Fitted wardrobes to main bedroom
- Driveway for 3/4 vehicles
- Close to shops upon Kilnhurst Road
- Freehold / Tax Band B

